

COMPASS



LET COMPASS BE YOUR GUIDE!

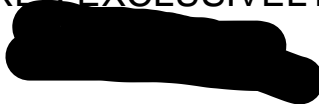
On Site Photos

LOCATED AT:



New Orleans, Louisiana

PREPARED EXCLUSIVELY FOR:



INSPECTED ON:

Wednesday, December 29, 2021



On Site Conditions

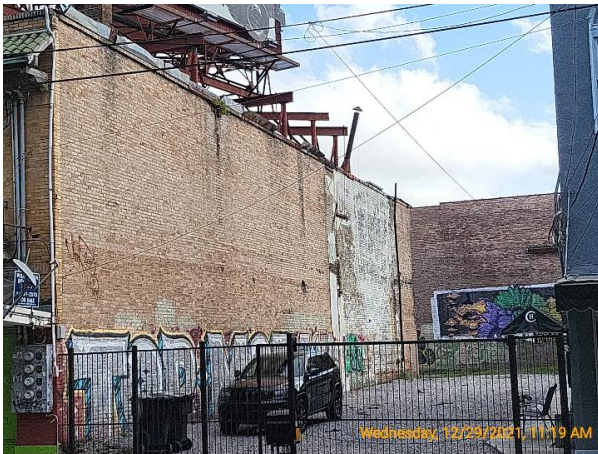
On Site Photos

PHOTOS

1:



Overhead view - Building appears to sit on the property lines



The right side of the building



Billboard over the roof at the right side of the building



The rear of the building



The left side of the building



Billboard over the building as you look from the left side



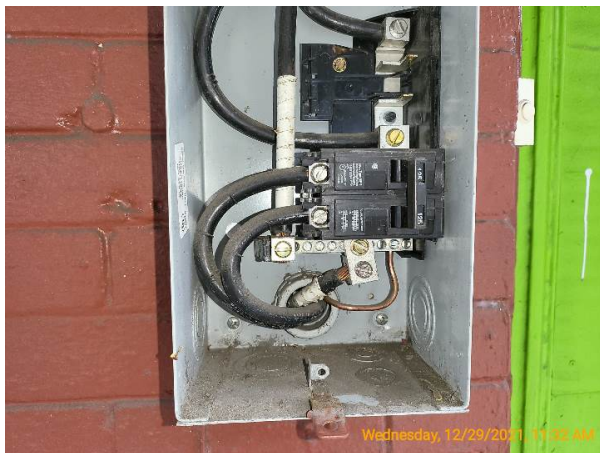
Main electrical entry point at the right front corner



Four electric meters at the right front corner with service disconnects



Fifth meter at the right front corner



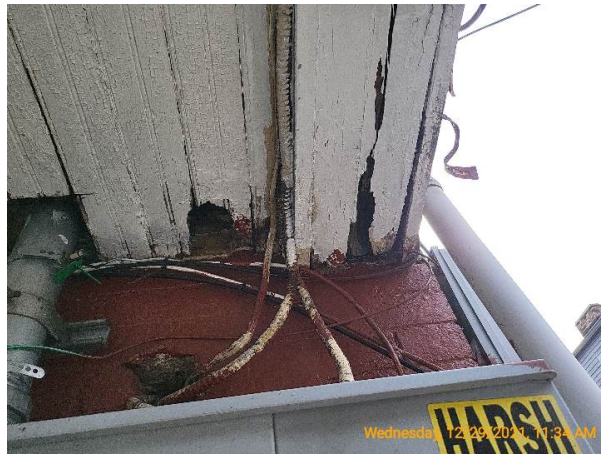
125 amp main electrical panel below 5th meter



Electrical wires are not in conduit at the right front corner



Sidewalk overhang has a negative slope across the front



Significant wood rot below the sidewalk overhang



Burglar bars noted on most windows and doors



Overhang lighting was not functional



Significant wood rot below the sidewalk overhang



Significant wood rot below the sidewalk overhang



Four gas meters enter at the left side, two have been removed and two are on



Single water meter enters at the left side



Significant wood rot below the sidewalk overhang



Cloth Romex and open junction box



Damaged door lock at the left side marked 1630



Missing outlet cover



More soffit rot at the left side sidewalk overhang



Another missing weather cover



More exposed electrical wire, Significant wood rot below the sidewalk overhang



First floor middle tenant



Raised wood floor rotted



Another raised wood floor rotted through



Close up



Inoperable sink



Slow drain at another sink



Severely low water flow in the half bathroom



Exposed electrical wire



Severe moisture damage and possible mold growth at the base of the half bathroom wall



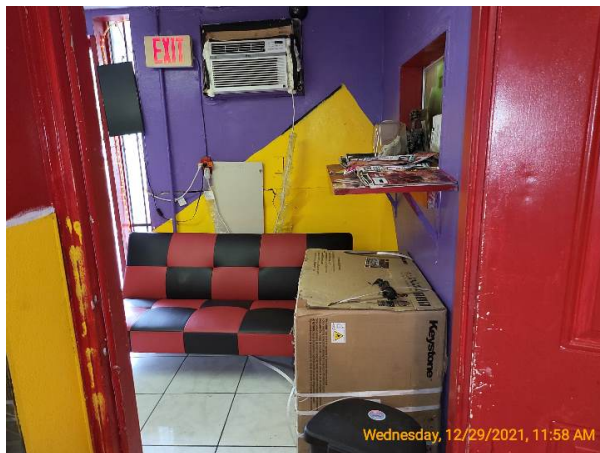
Sub electrical panel not accessible



More severe low water flow



Severe moisture damages and rotted wood at the filled in cased opening at the equipment closet



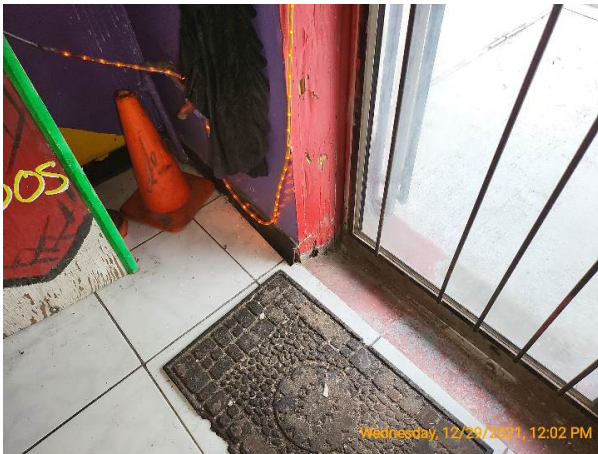
Window units are reported to be the landlord's but a new window unit is present but has not been installed



Drop down ceiling marginally supported, plaster prevents view of beams



Drop down ceiling marginally supported, plaster prevents view of beams



Severe trim damage at the entrance door



Severe moisture damage is below the window unit



Representative failing roof at all balconies



Severe water pooling at the building side of the sidewalk overhang



Close-up



Severe wood rot and moisture staining below a front balcony



Significant glazing cracking and paint flaking at the windows



Missing sign



All balcony roofs are in poor condition

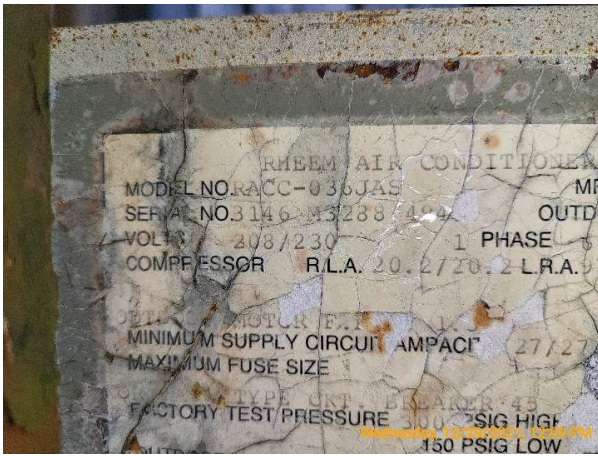
2:



All balcony roofs have severe wood rot and moisture staining below them



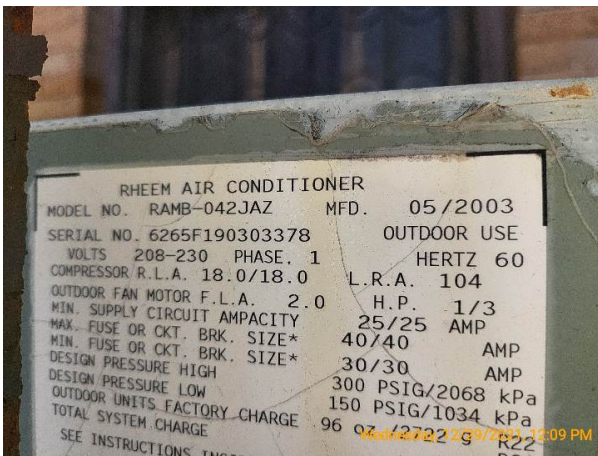
9 balconies in all



3-ton condenser manufactured in 1988



Rotted wood panels at masonry openings



Three-and-a-half ton condenser manufactured in 2003



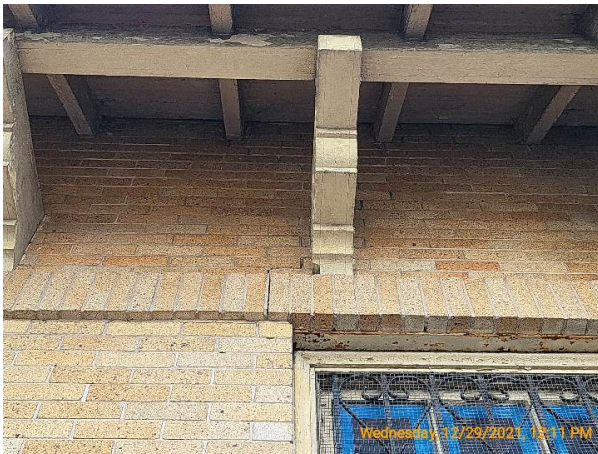
A left side balcony is notably out of square and structurally failing



Rusting lintels



Upper copper gutter is failing



Thermal cracking at the left side of the building near the center



Old vent opening should be removed



Missing window pane



Rotted window sashes and sills noted



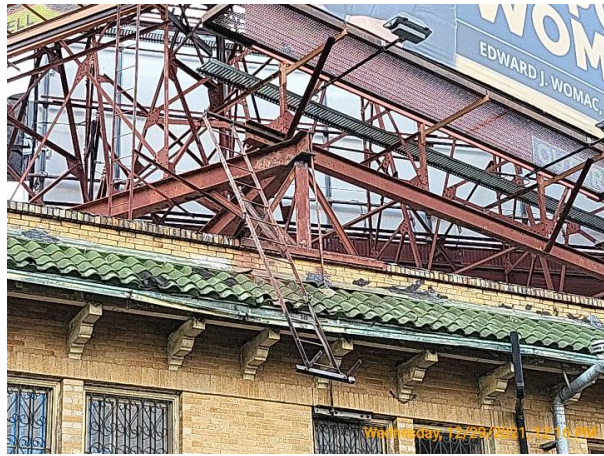
Exposed and loose electrical wiring



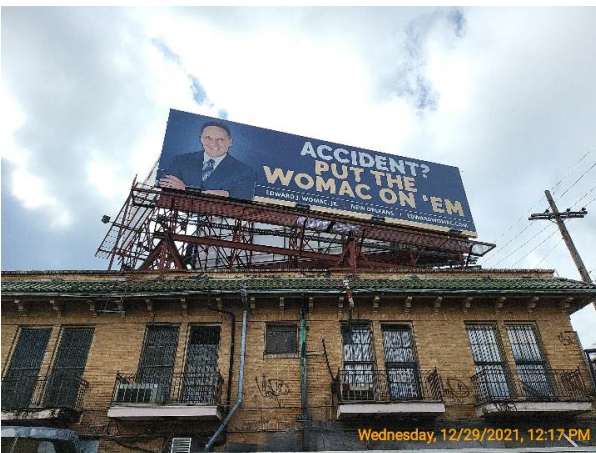
Upper roof soffit rot



Terracotta tile roof failing around the left and front of the building



Remove dangling ladder at the middle of the left side



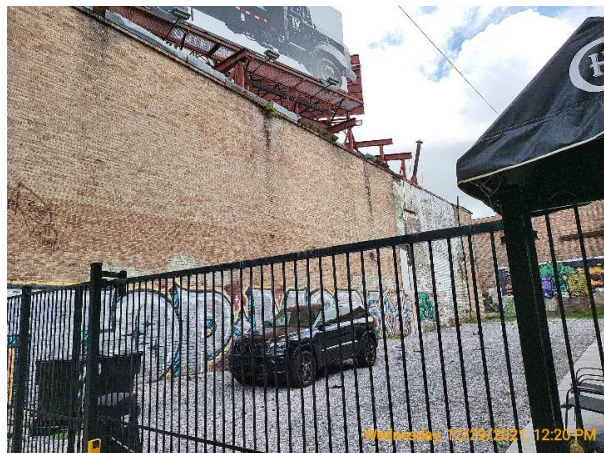
Significant billboard structure atop the building is excluded.



Severe vegetation growth along the right side



Metal parapet cap along the right side are bent upwards and significantly damaged



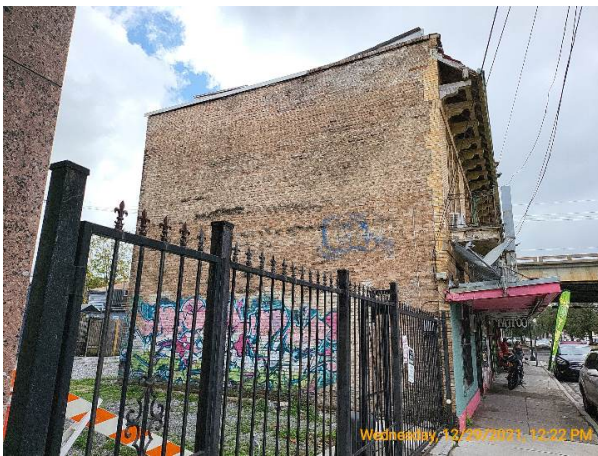
The right side of the building is not accessible but was viewed from the sidewalk



Numerous holes in the mortar were noted along the right side



Parapet cap missing along most of the building



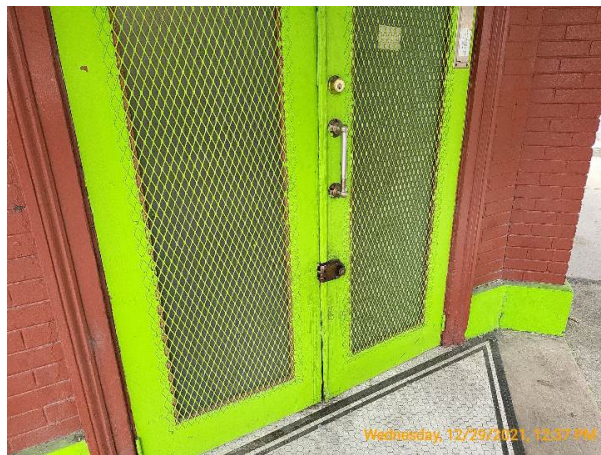
Rear of the building is not accessible but was viewed from the sidewalk



Numerous holes were noted in the mortar in the rear wall



First floor front



The door is difficult to open and close



Same door significantly damaged at the bottom



Inoperable emergency exit lighting for unit 714



Significant ceiling tile damages throughout the entire first floor



Crown molding intact along the left wall below the beams, which suggests they are still functional



Steel post at the central front wall supporting the beam in 714



Open junction box



Plaster covers most of the right half ceiling of 714



Central beam 714 appears functional



Significant damages at a right side beam 714



Plaster ceiling covers most of the right half of 714



Central beam 714 appears functional



Plaster ceiling intact at the rear half of 714 and no visible beams



Significant damages at a third beam over the right half of 714



Fire suppression and vent system added, it was a \$40,000 upgrade



Another damaged door



Inoperable gas furnace and coil over 10 years old



Unsafe to use because vent is disconnected and improper



Exclude commercial kitchen equipment



12 gallon electric water heater manufactured in 2008, functional



Water flow reversed



Loose sink in the women's restroom



Loose toilet in the men's restroom



Severe framing damages at the base of the wall in the men's restroom

3:



Sub panel for unit 714, we did not have a driver to remove the cover



Missing plaster throughout the exterior walls



Loose railing and missing railing at the stairs to the second floor



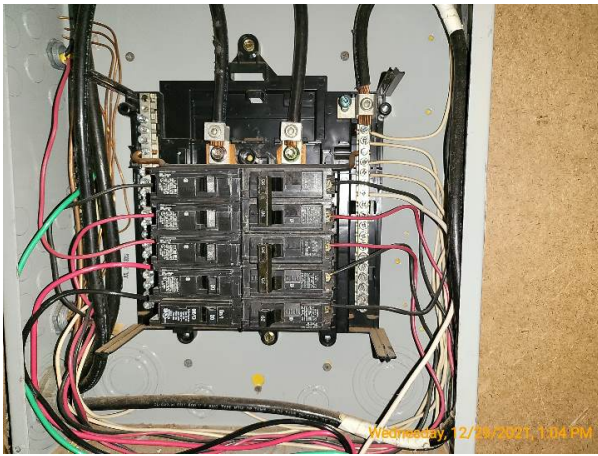
Typical cracking in the floating slab



712 North Claiborne is the second floor front unit



Sub panel for unit 712



Sub panel for 712



Loose rails



Significant moisture staining on the second floor ceiling



Emergency exit lighting is present but no corridor lighting is present



Inoperable furnace and heater that appears to be over 15 years old



Possible asbestos tiles under the vinyl floor



Significant subfloor and visible framing damages at the left front corner of the building



Inoperable hot water fixture



No water heater



Inaccessible closet opposite the bathroom after front



Slow drain at the rear bathroom sink and tub



Kitchen sink has a slow drain



Newer electrical wiring not in conduit



Water heater not installed



Evidence of active leakage at a left side bedroom and between the two bedrooms



First and second floor at the rear of the building



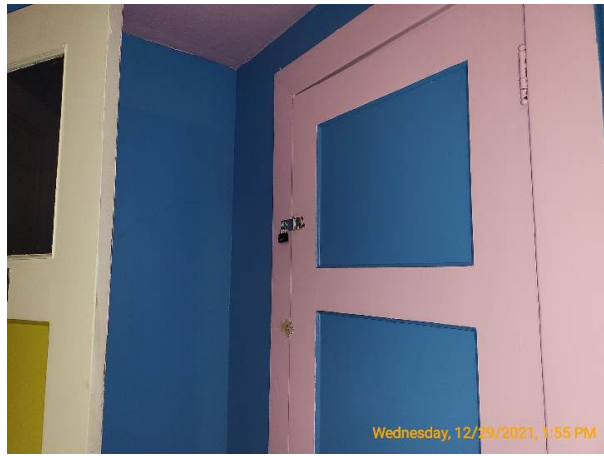
Main electrical panel



Broken fixture



Locked closet



Another locked closet



Severely low water flow



Gas water heater is not accessible



Plaster covers the ceiling joists



Plaster covers the ceiling joists



Plaster ceilings above the drop down on the second floor of 1620



Plaster ceilings above the kitchen drop down



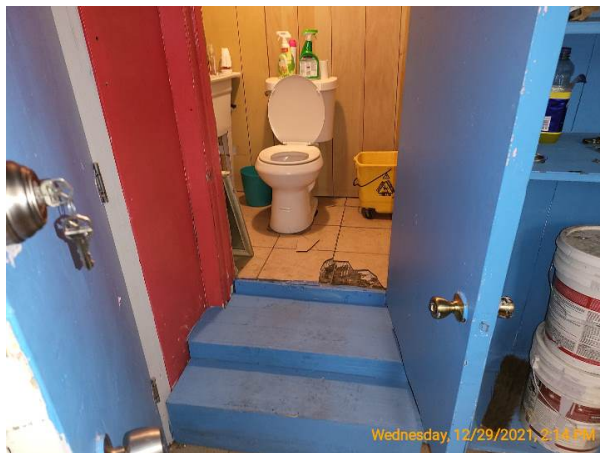
Significant deflection and split baseboard over the tattoo place, indicative of hidden beam damage



Central beam across the first floor appears functional



Sheetrock across the beams above the first floor



Damaged floor bathroom

4: Representative Courtesy Drone Photographs



Rear



Roof overall



Right rear corner



Left rear corner



Damaged parapet cap



Rear of center



Front of center



Below bill board



Middle



Terra cotta tile roof missing numerous tiles



Left front corner



Right front orner