



COMPASS INSPECTION SERVICES, LLC

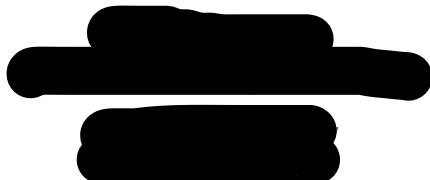
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## STUCCO REPORT



Inspector

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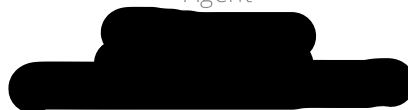
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Agent





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[REDACTED]

At your request, we conducted a visual stucco inspection of the subject property on 01/18/2022. The scope of the inspection is to determine a representative condition of the subject properties cladding system. We made the following observations.

This report is the expressed opinion of this company only and is not intended to bind any party to make any repairs or replacements. This report includes only the visible elements and conditions and does not purport to cover inaccessible areas or hidden damages. We do not intend for this report to replace, supersede or include the contents of a formal disclosure statement, and we recommend that a disclosure statement be obtained for your files.

The "front," "rear," "left," and "right" designations in this report refer to the property as you are facing it, with your back to the street.

Each section of the report will have items that are divided into informational, limitations and observations. Major deficiencies are underlined and can be found under the "Full Report" section and also in the "Summary" section. The "Summary" section will be a list of noted major deficiencies for your convenience and is not intended to be a comprehensive record of all of the deficiencies we noted during our inspection and is not substitute for reading the entire report. *Items that may be a major deficiency or that require additional investigation are italicized.* **Safety concerns are identified in bold print.**

We have included approximate cost ranges to cure certain items noted in this report. The approximate cost ranges are for your guidance only and are not intended to be firm lump sum quotations for the performance of these work items. We strongly recommend that firm quotations from licensed contractors be obtained for the repair of these items, which may also include additional contractor deficiency discovery.

We have also attached photographs documenting certain conditions that we noted during our inspection. The attached photographic record is not intended to be a comprehensive record of all of the deficiencies we noted during our inspection.

However, the photographs are considered to be an integral component of this report, and any items noted in the photographic record that are not specifically mentioned in the following narrative are incorporated by reference into this report.

This company is ready to assist you in any way. If you have questions or need further assistance, please call, text or email.

# 1: SUBJECT PROPERTY

## Information

**GENERAL INFORMATION:  
PRESENT AT THE INSPECTION**

Client, Client's Agent, Home  
Owner, Listing Agent

**GENERAL INFORMATION:  
APPROXIMATE TEMPERATURE**

63 Degrees - Fahrenheit

**GENERAL INFORMATION:  
ESTIMATED LAST RAINFALL**

Few Days Ago

To the best of our knowledge, the  
last rainfall is estimated above.

**GENERAL INFORMATION:  
PROPERTY DESCRIPTION**

Single-Family Residence

**GENERAL INFORMATION:  
APPROXIMATE STUCCO AGE**

18 years old

**GENERAL INFORMATION: ROOF  
SHAPE / TYPE**

Hip

**GENERAL INFORMATION:  
NUMBER OF STORIES**

Two-story

**GENERAL INFORMATION: WALL  
FRAMING**

Wood Framing

**CHIMNEY: NO CHIMNEY**

The property does not have a  
chimney.

**GENERAL INFORMATION: WEATHER CONDITIONS**

Cloudy, Clear

The above listed weather conditions prior to and at the time of our inspection are listed above.

**GENERAL INFORMATION: STUCCO DIRECTION**

NORTH, SOUTH, EAST, WEST

The sides of the building with stucco face in the above noted general direction.



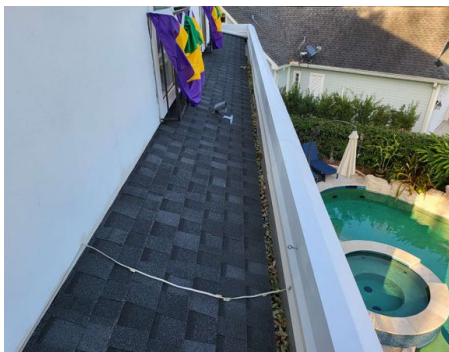
Right



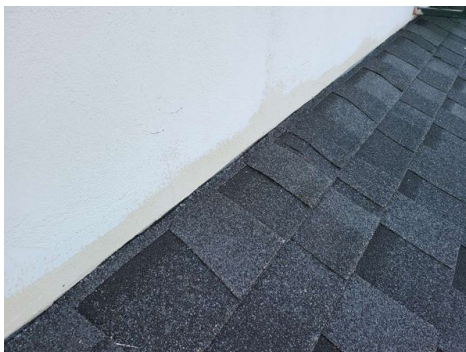
Rear



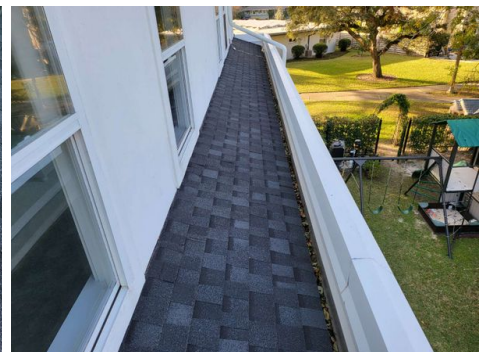
Left



Front Roofing detail over the porch



Close up showing different colored  
stucco at the front porch area that is  
indicative of a past repair



Right side Roofing detail

### SUBSTRATE/BUILDING WRAP: OSB

The substrate located behind the stucco was determined to be OSB (Oriented Strand Board). OSB is a type of engineered wood panel that is formed out of compressed layers of wood strands that are held together with adhesives.



### SUBSTRATE/BUILDING WRAP: SYNTHETIC

Synthetic building wrap is typically made from high-density spunbound polyethylene fibers. The materials are considered to be lightweight, durable and breathable but yet they are resistant to water penetration. They are designed to allow vapor out of the building but prevent rainwater from entering the building.



### WINDOWS & DOORS: WINDOW TYPE

Vinyl, Aluminum, Single-hung, Fixed

The building has the above listed window types. We do not determine window manufacturer, as part of our inspection.

### WINDOWS & DOORS: DOOR TYPE

Wood

We noted the following types of doors. However, we do not determine door manufacturer as part of our inspection.



## Notable observations

### 1.2.1 SUBSTRATE/BUILDING WRAP SINGLE LAYER

 Significant Deficiencies

The system has a single layer of building wrap and modern standards require two layers of building wrap to provide a drainage plane. In the case of hard coat stucco, a single layer of building wrap can stick to the base coat, allowing water to penetrate the building wrap. Hidden damages to some degree are possible at any location behind the stucco.

### 1.3.1 WINDOWS & DOORS

#### NO DRAIN PAN DOORS

 Significant Deficiencies

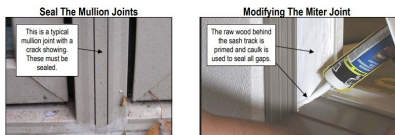
The doors can leak at their miter (corners) and mullion joints (double door junctions). Sealant can be effective and we recommend sealing every miter and mullion joints to prevent moisture intrusion. However, if sealant, is not effective, we recommend installation of a drain pan under the door. Any alarm penetrations in the windows themselves should be sealed.

### 1.3.2 WINDOWS & DOORS

#### OLDER AND FIXED WINDOWS

 Significant Deficiencies

These older windows are not approved for stucco, as they do have drains below them. Older windows such as these can leak at their miter (window corners) and mullion joints (double window junctions). Sealant can be effective and we recommend sealing every miter and mullion joints to prevent moisture intrusion. However, if sealant, is not effective, we recommend installation of a drain pan under the window or replacement of the windows. Any alarm penetrations in the windows themselves should be sealed.



Older windows with miter joints



Fixed Windows

## 2: STUCCO

### Information

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#### **HARD STUCCO TYPE: FASTENING METHOD**

Mechanically Fastened

#### **GENERAL STUCCO: CASING BEAD**

Metal

Casing beads are often installed at the base of stucco and at common stucco termination points like windows and doors.

#### **GENERAL STUCCO: CONTROL JOINT**

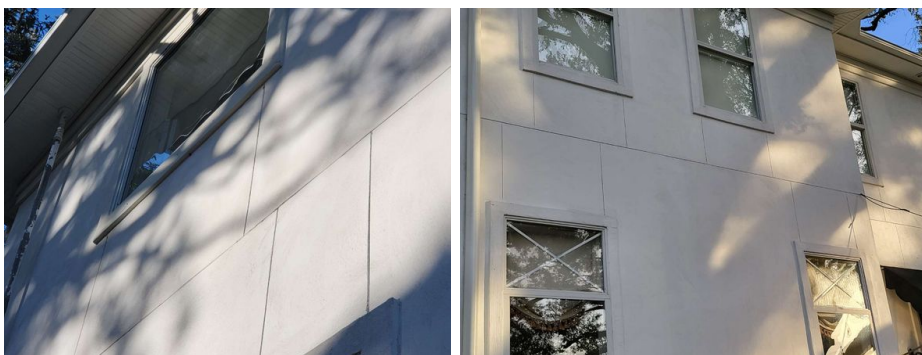
Metal

Control joints are installed and they are designed to minimize cracking associated with expansion and contraction of materials. However, they do not guarantee cracking will not occur.



#### **GENERAL STUCCO: EXPANSION JOINT**

An expansion joint was visible between the floor levels of the property. These joints are allowed to allow differential movement in the structure at the floor level.



## GENERAL STUCCO: FOAM ACCENTS

Windows, Doors

The property has polystyrene foam accents that are installed over the stucco system.

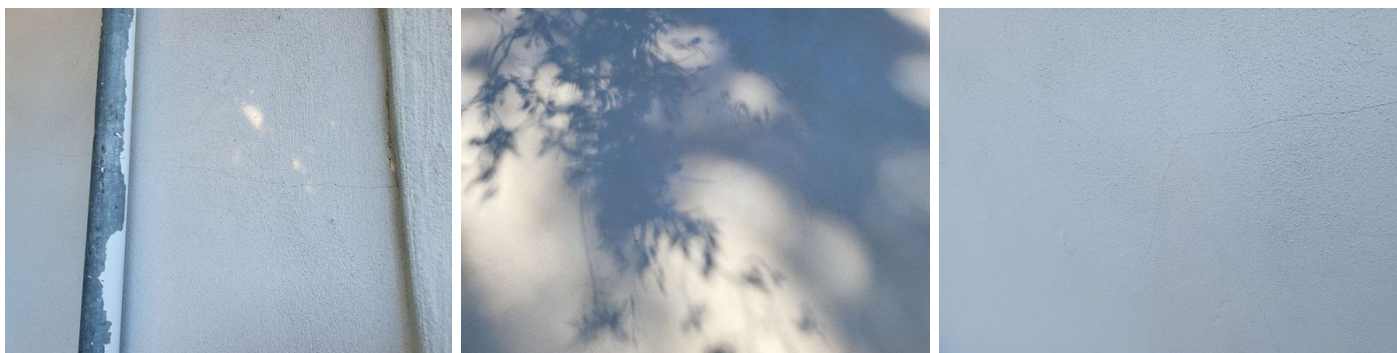


## HARD STUCCO TYPE: HARD COAT STUCCO

The subject property is clad with hard coat stucco that is comprised of metal lath, scratch coat, brown coat and a finish coat. A finish coat is then installed over the brown coat. The finish coat may or may not be textured.

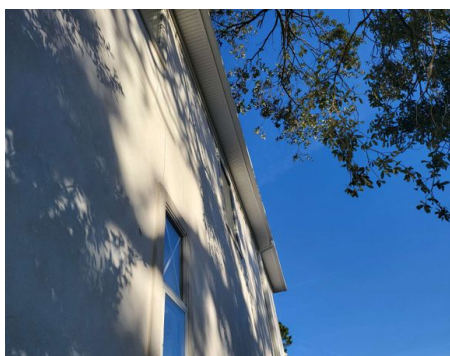
## CONDITIONS: MINOR CRACKING

We noted areas of minor cracking at the exterior stucco surfaces. This type of cracking is typical of stucco finishes and is not of concern at this time. These cracks do not appear to have opened to the extent that the stucco is not weatherproof. As further cracking occurs, the stucco system should be kept painted and sealed to prevent potential moisture intrusion.



## CONDITIONS: SOFFIT PROTECTED

The system is soffit protected. The soffit is not sealed to the stucco. While this detail is not common in our area, sealing the soffit would prevent moisture intrusion at the top of the system while pressure washing.





**CONDITIONS: TERMINATES MONOLITHIC FRONT PORCH**

The system terminates at the front porch, which is acceptable because the porch slab is monolithically poured with the main house slab.



**CONDITIONS: SPRINKLER SYSTEM**

A sprinkler system was noted. We recommend that the sprinkler heads be pointed away from the system to prevent premature damage to the stucco.

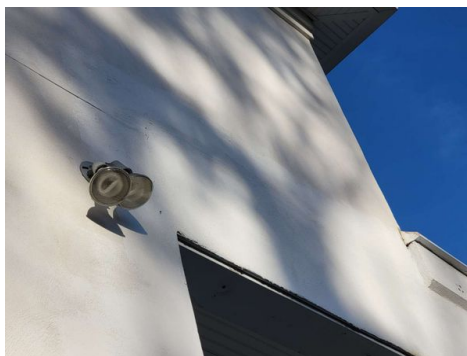


**CONDITIONS: PAST REPAIRS**

The subject property has past repairs that indicate past damages.



Based on the color difference in the stucco it appears that repairs were done to the front porch beams



Close-up prior photo trying to show different color at the beams

**CONDITIONS: Terminates Above Grade**

The stucco properly terminates above grade.



**FLASHINGS: VISIBLE AT ROOF**

Dormers, Second floor walls

The stucco is terminated above the roofline and the roof flashings are visible at the above listed locations, which is a good detail.



**FLASHINGS: FLAT ROOF - END DAM**

The system does have deck or flat roof terminations with end dam flashings at the flashing ends.



Proper end dam flashing at the right rear corner of the second floor

Proper end dam flashing at the left front corner of the second floor

**FLASHINGS: Kick Out not Required**

A kick out flashing is not required, as there are no sloped roof terminations in the stucco.

**PROBING: READINGS**

If taken, any moisture readings 1) less than 15% are considered "normal", 2) between 15 and 25% are considered "moderate" and 3) more than 25% are considered "considerable" moisture content. A firm substrate is considered acceptable and a soft substrate is considered not acceptable.

**Limitations**

GENERAL STUCCO

**MANUFACTURER**

We cannot determine manufacturers of any stucco related materials and/or components once it has been installed. Installers can install generic or name brand materials or any combination, as desired.

GENERAL STUCCO

**MATERIAL**

The amount of applied material, manufacturer and thickness of each stucco layer cannot be determined as part of this inspection. The substrate nailing pattern is not visible, nor is the EIFS and/or foam accent fastener patterns. Visually we cannot determine evidence of foam rasping.

PROBING

**WALL CAVITY**

No damages to the underlying framing were visible. It has been our experience that most exterior cladding systems leak to some degree at windows and penetrations, and only significant visible damages can be noted during a visual inspection such as this. Probing helps to quantify the extent of substrate damages at probed areas only. Hidden damages, if any, are beyond the scope of this visual inspection.

**Notable observations**

2.1.1 GENERAL STUCCO

**NO CONTROL JOINTS**

 Significant Deficiencies

*We noted that no control joints at the enclosed right side portion of the porch are installed and the stucco is prone to cracking. The opened cracks should be grinded open and filled with sealant and then monitored.*



Grind crack and seal between first floor wall and second floor roof wall junction



Close-up showing the location of the crack



Grind crack and seal at the right rear corner of the house at what looks like an enclosed porch

2.1.2 GENERAL STUCCO

**NO HEAD FLASHING**

 Significant Deficiencies

*Head flashings are not visible over the doors and/or windows. Head flashings are vertical flashing installed over door and/or windows to divert rainwater to either side. These flashings are not required but are often recommended. However, if the building wrap is properly installed at these locations, leakage behind the stucco and/or inside the house may not occur.*

### 2.1.3 GENERAL STUCCO

 Significant Deficiencies

#### NO SEALANT

Penetrations, Electrical Boxes, Old shutters?

We recommend that the above listed areas be professionally sealed using a quality sealant such as "MasterSeal NP1" or "ChemLink Duralink". Adequate sealant (approximately a 3/8 inch bead) should be used to give long lasting protection. It is imperative to clean any area prior to a comprehensive caulking application.

Estimated Cost

\$500 - \$1,000



Seal various holes in the stucco near the windows that we suspect are old shutters

### 2.1.4 GENERAL STUCCO

 Significant Deficiencies

#### SEALANT SEPARATIONS WINDOWS AND DOORS

Polyurethane

The windows and doors are sealed but we noted separations and recommend that the windows be re-sealed. We recommend that the old sealants be removed and a new professionally installed bead of sealant at least 3/8" thick be installed.

Estimated Cost

\$2,500 - \$3,500



Separations noted at the window sealant



More separations at another window



Add sealant to the top of the front porch capitals



Door sealant separation



More window sealant separation

#### 2.4.1 CONDITIONS

### AGED FINISH

 Significant Deficiencies

*The system has significant fungus growth and discoloration and its finish appears aged. As the finish ages it allows moisture to penetrate the stucco, which can cause cracking. A finish is considered aged after about 15 years.*

#### 2.4.2 CONDITIONS

### DAMAGES

 Significant Deficiencies

The home has various damages, as noted below, that should be repaired. The worst damage appears to be over the front steps and at the left side of the front porch. We recommend that the trim at the base of the beam be opened. If not damages to the beam then the stucco can be waterproofed and monitored. If significant damages to the beam, the cost may be significant to repair and would require a general contractor.



Large hole in the stucco at the left front corner should be waterproof



Chronic calcification at the base of the stucco and moisture staining on the wood trim below the left side beam, we recommend removal of the trim to evaluate the beam



Notable crack over the front stairs and we recommend removal of the trim to evaluate the beam



Close up prior photograph



The accent band over the right side rear window is damaged

# 3: SUMMARY

## Information

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### GENERAL: PROFESSIONALLY INSTALLED

The stucco system appears to be professionally installed using materials and techniques indicative of its era. However, the single moisture barrier would not be allowed today and can allow moisture entry. The surface of the stucco is aged and can allow moisture entry. The house has numerous minor cracks and re-surfacing would be the best option. However, an elastomeric coating is a good option, as the coating may span these cracks effectively. Below please find approximate costs to cure for both options.

### GENERAL: MOISTUREFREE WARRANTY

Professional repair guidelines can be found at Moisture Warranty's website [www.moisturewarranty.com](http://www.moisturewarranty.com). If desired, they can be consulted for a stucco warranty by emailing our report to [reports@moisturewarranty.com](mailto:reports@moisturewarranty.com). Moisture Warranty reserves the right to deny any home or component warranty coverage as this inspection and repairs do not guarantee a warranty. After they perform a Certified Report Review and Repair Analysis, they may require additional probing and/or information. Please send us their request and we will quote a return visit to meet their guidelines.

### GENERAL: QUOTATION AND MAINTENANCE

*We recommend that firm quotations from licensed contractors be obtained for repairs to any of the above items.* This report includes only the visible elements and conditions and does not purport to cover inaccessible areas or hidden damages. This inspection is limited to a visual inspection and probed readings taken of the exterior cladding at the time of the inspection.

We also recommend continued routine maintenance of the stucco system be performed annually. Good practice cleans the surface regularly, keeps vegetation overgrowth off of the system, keeps roof flashings and gutters clean of debris, keeps sprinkler heads pointed away, keeps the grade below the base of the stucco, inspects the window sealants every 18 months, performs inspections every few years to help ensure the long-term success of the stucco system.

This Inspection and Report do not, in any way, constitute a guarantee, a warranty of merchantability or fitness for a particular purpose, an express or implied warranty, or an insurance policy. The Report is strictly and solely a professional opinion of the subject property based on the observations made on the day of our inspection. This report is an instrument of professional service and is the property of Compass Inspection Services, LLC. and is intended for the use of the addressee only. The scope of this report is limited to the above items. This report does not include environmental aspects or building code compliance.

## Notable observations

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### 3.1.1 GENERAL

#### GRIND AND REPAIR CRACKS

 Significant Deficiencies

As noted above the system has notable cracking at the right side enclosed porch and we recommend that these cracks be grinded and sealed using a high quality sealant.

Estimated Cost  
\$1,000 - \$2,000

### 3.1.2 GENERAL

#### ELASTOMERIC COAT

 Significant Deficiencies

The stucco's finish is at its life expectancy and generally aged, we recommend that the system be coated with a "breathable" or vapor permeable elastomeric coating. The coating will waterproof the surface of the stucco again but is permeable and will allow water vapor transmission to prevent bubbling and peeling. Two coats are recommended to bridge small cracks and allow for proper elongation and flexibility to keep the crack concealed.

Estimated Cost

\$25,000 - \$35,000

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### 3.1.3 GENERAL

 Significant Deficiencies

## **RESURFACE**

The stucco's finish is at its life expectancy and generally aged, we recommend that the system be re-surfaced. The cracking is substantial enough that an elastomeric coating will not be effective. Re-surfacing will entail installing a fiberglass mesh embedded in a base coat. A new textured finish will waterproof the surface of the stucco again.

Estimated Cost

\$45,000 - \$55,000